



SOMERFIELD

NEIGHBOURHOOD

at the heart of everything

design guidelines



“a beautiful place
to come home to”

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1.0 INTRODUCTION

1.1

Design Philosophy

Somerfield seeks to create a diverse, contemporary and sustainable community that celebrates and connects to the natural environment, historic market gardens and horticultural heritage of the area. With leading edge urban design working hand in hand with high levels of environmental sustainability, Somerfield sets the benchmark for new residential communities.

Intrapac recognises that purchasers are looking for quality lifestyle through first rate housing and garden design together with significant areas of landscaped open space that is well planned and sustainably planted. The design for Somerfield as provided by the developer offers almost 20% passive open space for residents to recreate and enjoy.

1.2

Keeping Green

Somerfield will be among the first housing developments to incorporate Third Pipe infrastructure for recycled water. Third Pipe is a system that harvests both recycled and storm water that would normally be lost in municipal drains. This water is redirected to water gardens and to flush toilets. Availability of recycled water is subject to and conditional on final approval by South East Water to connect Somerfield to South East Water's recycled water supply.

Intrapac will provide Third Pipe infrastructure to the boundary of the Lot. If the recycled water supply is made available, purchasers will be required to connect the Third Pipe water at the same time as they connect potable drinking water to the site. An external recycled water tap must be installed at the front and back of the house built on the site.

In addition to a Third Pipe connection, a minimum 4500 litres capacity water tank per Lot is encouraged. This is a requirement in Display Village Lots.



1.3

Designing Your New House

ENVIRONMENTAL & ENERGY EFFICIENCY

When designing your new home, Somerfield will encourage you to incorporate green alternatives and supplementary systems such as solar power and hot water generation, low energy appliances and light fittings, off-peak timers, evaporative cooling in preference to air conditioning, rain water tanks and drought tolerant plant species. Your designer will be able to discuss this with you.

SAFETY & ACCESSIBILITY

The Federal Government (Department of FHCSIF) has published the “Liveable Housing Design Guidelines”. These will assist you to create a comfortable, accessible, safe and appropriate home for a variety of people, including aging and disabled people and children. Your designer will be able to discuss this with you.

1.4

Keeping Connected

Intrapac’s commitment to innovation continues into the everyday life of residents giving them access to state-of-the-art communications and entertainment services, enabling them to live, work and communicate using faster and better technology.

All homes at Somerfield are connected to a Fibre to the Premises (FTTP) network which supplies telephone, high speed broadband internet, and, where possible, digital free-to-air and Pay TV services to residents. FTTP minimises the requirement for unsightly TV antennas and satellite dishes, improving the general streetscape; satellite dishes and antennas will only be permitted at Somerfield in areas where the FTTP network is not capable of providing all of these services.

The network operator is responsible for the installation and maintenance of the Lead-In and Optical Network Termination device to the dwelling. All cabling beyond the Optical Network Terminal is the responsibility of the home owner, builder and/or electrician. There are minimum wiring requirements that need to be adhered to, ensuring that networking services can be fully operational.



1.5

Purpose of the Guidelines

This Design Guideline booklet operates as a “master-guide” that describes requirements applying to the entire Somerfield sub-division. This needs to be read together with additional and specific requirements that apply to your individual Stage. These can be found in a supplementary document called “Stage Specific Requirements”. **References to these supplements are made throughout this master-guide booklet in orange.**

The primary objective of the Design Guidelines is to encourage continuity while creating diverse streetscapes that engage residents and visitors alike. The guidelines focus on building and landscape requirements in the front setback area.

The Guidelines encourage identity and expression with a mix of product that demonstrates consistent quality of building and landscape design. They will work to protect and enhance property value and lifestyle amenity for all residents. Where these guidelines differ from the standards of Clause 54 of ResCode or the City of Greater Dandenong Planning Scheme, the provisions of these Guidelines prevail.

Residents are encouraged to consider contemporary designs that deliver a high level of environmental sustainability. It is not about radically different house design but rather about designing and building more efficiently and effectively to ensure quality outcomes, worthy of Somerfield's unique provenance. It is a great place to live.



1.6

Approval Process

No buildings or works may be carried out unless prior approval is obtained from The Somerfield Design Assessment Panel (SDAP). Consideration must also be given to the provisions contained in the Contract of Sale for the Lot including special conditions, Plan of Subdivision and the Restrictive Covenants.

REQUIREMENTS

A Checklist is included in the back of these Guidelines to give you an easy way to see if your design conforms with the Guidelines prior to lodging with the SDAP.

The SDAP prefers all document submissions to be via email. All documents must be clearly dated. An application for design approval must include the following information and drawings at minimum 1:100 scale at A3 size:

- R1** Site plan with setbacks from all boundaries, fence and gate details and driveway dimensions. *Refer section 5.4 Example Site Plan.*
Driveway designs may be submitted for approval after house designs have been approved. *Refer section 5.8 Somerfield Driveways.*
- R2** Dimensioned and noted floor and roof plans. These must include terraces and decks and accurately locate windows and doors.
- R3** Dimensioned elevations from each side. Note wall heights from natural ground level (NGL) and floor levels. Include the dashed outline of allowable building envelope referred to in 4.1 Side + Rear Setbacks (Building Height) of this document. *Refer section 5.5 Example Elevations.*
- R4** Plans and elevations must be annotated with all materials, finishes and colours that cross reference to a Materials Sample Sheet. This sheet must be A4 format and include accurate coloured photo images, manufacturer and product. Where necessary, flat samples are acceptable.
- R5** Note the elements of the design that respond to built or approved designs for dwellings on any adjacent Lot, including proposed measures to protect the amenity of your neighbours as required by ResCode. Plans of approved designs are available from the SDAP upon request.
- R6** Any other relevant information and images to allow a complete assessment of the application against the criteria in this document.



SEND APPLICATIONS OR ENQUIRIES TO

dap@somerfield.com.au

CRITERIA FOR ASSESSMENT

The Somerfield Design Assessment Panel will review:

- C1** Compliance with the overall design philosophy;
- C2** Commitment to sustainable design and building techniques such as orientation and solar access, double glazing, insulation, water harvesting and drought tolerant gardens.
- C3** If a proposal has responded to the objectives, requirements and techniques of the Design Guidelines;
- C4** The merits of an application where it varies from the guidelines.

APPROVAL AND RESPONSE

The Somerfield Design Assessment Panel will within 14 days either:

- A1** Approve an application and return stamped documents;
- A2** Approve an application with amendments and/or Conditions;
- A3** Request further information; or
- A4** Refuse an application that does not meet the Design Guidelines.

OTHER APPROVAL REQUIREMENTS

Approval of plans by the SDAP does not imply that the plans comply with other statutory approval requirements. A Building Permit will need to be obtained for all works in accordance with the Building Regulations Victoria 1994 and to the requirements of the Building Code of Australia.



2.0 STREETSCAPE + FRONTAGE

2.1

Neighbourhood Character

PHILOSOPHY & OBJECTIVE

To define a sense of local community that is achievable by each dwelling adopting contemporary Australian designs using quality materials, appropriate natural colours and sustainable and well landscaped gardens.

To create continuity of urban form and an articulated streetscape that respects the view corridors to landscaped areas and focal points within the neighbourhood.

REQUIREMENTS

- R1** House designs must be contemporary, site responsive and sustainable.
- R2** Each Lot and house design must carefully consider frontage treatments such as setbacks, façade articulation, roof outline, garage design, landscaping of the front garden, innovative materials and a limited use of fencing.
- R3** Each Lot and house design must carefully consider the relationship with its immediate neighbours for scale, materials, colours and amenity.

HISTORIC STYLES

Overt and mock historic styles such as Georgian, Victorian and Federation will be discouraged as they are incompatible with the contemporary philosophy of Somerfield.

2.2

Street Address

OBJECTIVE

To ensure that the siting and design of houses allows for an interactive frontage with the street and neighbours.

To ensure modulation and substance within streets fronting main landscaped corridors.

REQUIREMENTS

- R1** Some Lots in the sub-division must be double storey. **Refer to the relevant Stage Specific Requirements to identify if your Lot needs to be double storey.**
- R2** House frontage designs must utilise entries, pergolas, windows and hooding, verandahs, decks, terraces and other habitable areas, to articulate and arbitrate the main façade.



2.3

Double Frontage Lots

CORNER LOT DEFINITION

For the purpose of the guidelines, a corner Lot is a Lot contiguous to two intersecting streets, which has access to both streets.

OBJECTIVE

To ensure that designs for Double Frontage Lots address both street frontages.

REQUIREMENTS

- R1** Both elevations should be given attention to create a 'multi-sided' house that adds to the amenity of each streetscape. Elements such as pergolas should be used to activate the secondary frontage and modulate long expanses of walls. *Refer section 2.4 Front Setbacks for Corner Lot setback requirements.*

2.4

Front Setbacks

SETBACK DEFINITION

The minimum distance which a wall face is required to be from a street property boundary measured as the horizontal distance between the proposed wall and the boundary.

All structures including decks, patio areas, pergolas, porches, verandahs, garages etc. are to comply with the setback requirement unless described in this document as an Exception.

CONVENTIONAL LOT DEFINITION

For the purpose of the guidelines, a conventional Lot is any Lot, including a corner Lot, that is greater than 450 square metres; or where the length of a side boundary is equal to or greater than 30 metres or; any Lot where two boundaries contain an included angle of not less than 60°.

OBJECTIVE

To create continuity of urban form and an articulated streetscape that respects the view corridors to landscaped areas and focal points within the neighbourhood.

To extend the landscape design of the streetscape into the Front Setback of each Lot.

To create a house frontage not dominated by cars and garages.

REQUIREMENTS FOR CONVENTIONAL LOTS

- R1** The face of the building must be setback at least 5.0 metres from the Lot boundary and the face of the garage or carport must setback at least 6.0 metres from the Lot boundary. **Some Lots in the sub-division have a reduced or increased setback. Refer to the Stage Specific Requirements and MCP Diagram for your Lot.**



SETBACK EXCEPTIONS

- E1** The wall face of covered or roofed elements such as porticos are permitted to encroach within the designated setback by up to 1.0 metres with the exception of Stages 1A, 1B, 1C, 1D, 1E, 1F, 1J, 1K and 1L which may not encroach. These elements may not exceed 3.6 metres in height.
- E2** Permeable structures such as pergolas, window hooding, decks, terraces and built landscape elements are permitted to encroach within the designated setback by up to 2.0 metres.
- E3** Built landscape elements (excluding fencing) that are no higher than 0.6 metres are unrestricted within the front setback.

REQUIREMENTS FOR CORNER LOTS

- R1** The face of the building must be setback at least 5.0 metres from the Lot boundary on the primary frontage and at least 2.0 metres on the secondary frontage. **Some Lots in the subdivision have a reduced or increased setback. Refer to the Stage Specific Requirements and MCP Diagram for your Lot.**

For the purpose of front setbacks the Primary Frontage on a corner Lot is the shorter street boundary.



2.5

Front Gardens + Landscape

OBJECTIVE

To create gardens as a source of pride and talking point that reference and compliment the historic market gardens and horticulture of the region.

To provide a high quality and attractive setting for the house that contributes to the streetscape and the intended identity and character of your neighbourhood through a continuity of plant selection and planting style.

REQUIREMENTS

- R1** The street frontage area of the allotment must be cleared of any waste building material with both front and rear areas landscaped within 3 months of issuing the Certificate of Occupancy.
- R2** All gardens and landscaped areas visible from roads or parks must be well maintained and all parts of allotment not built upon or paved must be landscaped with grass, garden beds, shrubs and trees.
- R3** **Refer to the relevant Stage Specific Requirements. This may describe further restrictions to the landscaping of your Lot.**



PLANT SELECTION REQUIREMENT

- R1** Selection of species should be drought tolerant and compliment the established character of your neighbourhood parks and streetscapes. Plans of your local reserves, including species used, are attached as an appendix to these guidelines.
- R2** New trees and planting should be species that respond well to the local climate of Melbourne and require minimal watering once established.
- R3** Plant species for the each garden should be carefully selected to consider growth habits, available root space and possible impact on neighbouring properties, such as overshadowing, possible structural damage or allergies.
- R4** The use of deciduous trees on the north side of dwellings is encouraged to maximise solar access.
- R5** Shrubs within 2.0 metres to both primary and secondary frontages must not exceed 1.2 metres in height. Plants and trees within the remainder of the front setback are unlimited in height.
- R6** No weed species shall be planted within the allotment. Residents are encouraged to refer to "Weed Identification Guide" City of Casey, Cardinia Shire Council & City of Greater Dandenong publication.



LETTER BOXES

Letter boxes must reflect the character of the dwelling and will be structures no taller than 1.2 metres and be without visual bulk. Theme designs will not be approved.

BINS & COMPOST

Storage areas for garbage bins must be accommodated within the garage or an enclosed and screened area. Composting of garden refuse on site is encouraged but any compost bin or inclosure must not be visible from the street.



2.6

Garages + Carports

OBJECTIVE

To ensure that garages and garage doors do not visually dominate the house design facing the Street Frontage.

Garage and carport forms and materials must compliment the design of the dwelling.

REQUIREMENTS

- R1** Garages are not mandatory, however vehicles parked on the site on a long-term basis must be concealed from the street. The use of screening and planting is encouraged.
- R2** Carports are acceptable providing they have a screening device to conceal vehicles from the street.
- R3** Large vehicles such as trucks over 2 tonnes, boats, trailers and caravans must be able to be parked within the building envelope and not be visible from the street.
- R4** Single storey houses on 10 metre wide Lots may only have a single garage. Double storey houses on 10 metre wide Lots may have a double garage. *Refer section 2.4 Front Setbacks for Garage and Carport setback requirements.*

DOOR STYLE REQUIREMENTS

- R1** All doors must be either Sectional or Tilt style. Roller style doors will not be approved.
- R2** Door materials must be horizontal timber boarding, grooved ply or metal cladding equal to timber boarding. Coffered or rectangular relief patterns will not be approved. *Refer section 5.6 Sample Garage Door Profiles.*
- R3** Door colour and finish must compliment the design of the house. A natural timber colour or finish is preferred. Colorbond colours in muted tones are acceptable.



2.6

Driveways + Paths

OBJECTIVE

To ensure that driveways and paths contribute to the neighbourhood in order to compliment and extend the garden frontage into the roadside landscape.

To limit the area of hard paved surfaces within each allotment and increase areas of permeability to ensure a greener outcome.

REQUIREMENTS

- R1** Driveways and street crossovers will be located to produce best orientation of each dwelling in order to allow potential for views, wind and solar access.
- R2** Only one crossover per Lot is permitted with a maximum driveway width of 5.0 metres at the road boundary.
- R3** Driveways on all Lots must be set back a minimum of 0.5 metres from the side boundary to allow for a landscaping strip.

REQUIREMENTS FOR DRIVEWAY MATERIALS

- R1** Plain finished concrete can be used if a second finish of different colour or surface comprises at least 20% of the driveway area. Exposed aggregate finishes can comprise the whole of the driveway area and do not require a second finish. Driveways do not need to include permeable sections.

Driveway designs must be submitted for approval prior to construction. *Refer section 5.8 Somerfield Driveways.*



2.8

Front Fences

OBJECTIVE

To improve visual appearance of the neighbourhood and extend the garden frontage into the roadside landscape.

REQUIREMENTS

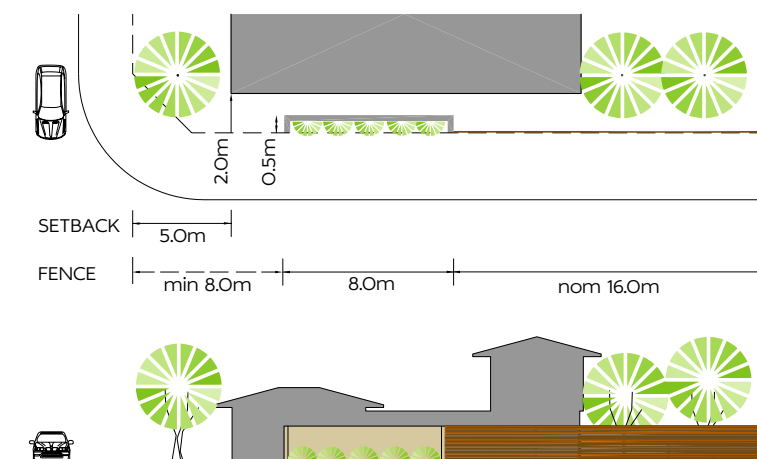
- R1** Front fences are not permitted on the Street Frontage boundary.
- R2** Where the Lot is contiguous to two intersecting streets, the fence to the secondary frontage will be 1.8 metres high and setback 8.0 metres from the primary frontage boundary. The fence must be constructed using timber palings a timber cap and timber posts exposed to both sides of the fence.

FENCE BY DEVELOPER

Some Lots within Somerfield will have a fence constructed by the developer on their secondary frontage. The fence style will be either a **Corner Fence** or a **Reserve Fence** as described below. **Refer to the relevant Stage Specific Requirements for Lots with these fences.**

CORNER FENCES

The fence will be 1.8 metres high. The front section will be solid in appearance with render finish for a length of 8.0 metres. This portion will be setback by 0.5 metres from the secondary frontage to allow street planting. The residual length will align with the Lot boundary and be built with post and screen materials (with 5mm gaps).



RESERVE FENCES

The fence will be 1.8 metres high. This will align with the Lot boundary and be built with post and screen materials (with 5mm gaps).



2.9

Side + Rear Fences

OBJECTIVE

To avoid a sense of blankness and enclosure, fence designs are encouraged to be innovative with materials and landscape treatments.

REQUIREMENTS

- R1** Fences will not be permitted on side boundaries forward of the front building Setback. Separation of Lots, as required in the frontage, can be achieved through appropriate landscape planting to achieve a successful barrier.
- R2** Side and rear fences must be constructed using timber palings a timber cap and timber posts exposed to both sides of the fence. Fence must be 1.8 metres high.
- R3** Fence returns or gates abutting with house walls must be constructed from galvanised steel frame with horizontal timber or composite timber slats. Designs that vary from this requirement will be assessed on merits. Lattice will not be approved.
- R4** Fence designs must demonstrate the use of landscape buffer planting adjacent side and rear fences.

FENCE BY DEVELOPER

Refer to the relevant Stage Specific Requirements. This may indicate additional Lot fencing constructed by the developer.



2.10

Built Form

OBJECTIVE

To encourage house designs that are versatile and contemporary in character and adopt sustainable materials and techniques.

To ensure designs are articulated and avoid excessive building bulk or long uninterrupted expanses of wall.

REQUIREMENTS

- R1** When selecting a house for a particular site, the design must provide access to sunlight, shelter from wind and privacy for and from neighbouring properties.
- R2** House plans must demonstrate strong connections between indoor and outdoor spaces. The extensive use of layered and sheltered spaces such as verandahs and Al Fresco areas are encouraged.
- R3** Any single material must not comprise greater than 70% of the frontage façade.
- R4** A frontage façade design will not be approved where the same façade design has been built or approved within 6 neighbouring Lots on either side of the same street.



2.11

Rooflines

EAVE DEFINITION

For the purpose of these guidelines, the dimension of the required eave extension referred to below includes the eave, fascia and gutter.

OBJECTIVE

Roof forms must be simple and not dominate the skyline of the neighbourhood. The use of metal profile roofing is encouraged to extend the contemporary Australian philosophy.

REQUIREMENTS

- R1** Roofs must avoid multiple hips and valleys. The use of skillion roofs and extended eaves for shading is encouraged. The roof pitch must not exceed 22.5°.
- R2** With the exception of walls on boundaries and parapet wall designs, houses with pitched roofs must have extended eaves to a minimum of 600mm on the street façade at ground level. The eaves must return along the side elevations for a minimum distance of 3.0 metres (measured from the face of the building).

Pitched roofs on upper levels must have extended eaves to a minimum of 600mm on all façades.

Parapet Wall designs are encouraged to utilise elements such as hooding or awnings to achieve sun protection on West and North façades.
- R3** Concrete or Terracotta tiles are acceptable if they are flat in appearance or of a 'slate' or 'shingle' profile and have an unglazed finish. *Refer section 5.7 Sample Roof Tile Profiles.*
- R4** Roof colours must be tonal and muted natural colours. The use of primary or heritage colours will not be approved.
- R5** Roof mounted air conditioning units, satellite dishes and antennas must be located to minimise visibility from the street.

REQUIREMENTS FOR DOUBLE FRONTAGE LOTS

- R1** Pitched roofs to Double Frontage Lots must have extended 600mm eaves on both Primary and Secondary Frontages at ground level. The eaves must return along the other elevations for a minimum distance of 3.0 metres.

EXCEPTIONS

- E1** Solar panels and Hot Water Tanks combined with solar panels are encouraged and may be visible on the roof to suit best orientation.



3.0 ON-SITE AMENITY

3.1

Site Coverage and Permeability

DEFINITION

Site coverage is the area of a Lot covered by the dwelling footprint. It excludes driveways, terraces and paths.

OBJECTIVE

To minimise built or impervious surfaces within Lots in order to facilitate on-site stormwater infiltration.

To reduce the impact of increased stormwater run-off on the drainage system.

REQUIREMENTS

- R1** The maximum Site Coverage for all Lots is 60%.
- R2** The minimum Permeability for all Lots is 20%.

3.2

Minimum House Size

DEFINITION

Net Floor Area is the usable floor area of a dwelling after deducting verandah, carport, garage and exterior walls.

OBJECTIVE

To ensure that all houses are of adequate size and value.

REQUIREMENTS

- R1** For Lots greater than 450 square metres, all dwellings must have a Net Floor Area of at least 150 square metres.
- R2** For Lots 450 square metres or less (non conventional Lots), all dwellings must have a Net Floor Area of at least 120 square metres.
- R3** For Lots less than 350 square metres, the minimum Net Floor Area will be assessed on merits. Somerfield will support smaller houses where their design and Net Floor Area is balanced with the block size.



3.3

Private Open Space

DEFINITION

Private Open Space (POS) is an open area at the side or rear of a house intended for the exclusive recreational use of the occupants. POS can include both covered and uncovered outdoor areas.

OBJECTIVE

To ensure adequate private open space is provided for the reasonable recreation and service needs of residents.

REQUIREMENTS

- R1** A house should have private open space consisting of an area of 80 square metres or 20% of the area of the Lot, whichever is the lesser. A calculation of POS can include an area with a minimum dimension of 1.2 metres on the shorter side.
- R2** Per ResCode, at least one part of the POS should consist of secluded POS with a minimum area of 25 square metres and a minimum dimension of 3.0 metres at the side or rear of the dwelling with convenient access from a living area.

3.4

Solar Access

OBJECTIVE

To ensure house designs provide for solar access into habitable room windows and secluded private open space.

REQUIREMENT FOR WINDOWS

- R1** Windows should be located to face an outdoor space open to the sky or light-court. Window sizes should maximise solar gain by size and orientation. Further, designs must include appropriate shading devices.

REQUIREMENTS FOR PRIVATE OPEN SPACE

- R2** Open Space should be located on the north, east or west side of the Lot. Designs should demonstrate that 75% of neighbouring POS is unshadowed between 10am and 3pm on the September Equinox.



4.0 AMENITY IMPACTS

4.1

Side + Rear Setbacks (Building Height)

EASEMENTS

The requirements of this subsection do not imply that any permanent structure may be built over an easement and designers must take note of locations of all easements affecting the Lot.

OBJECTIVE

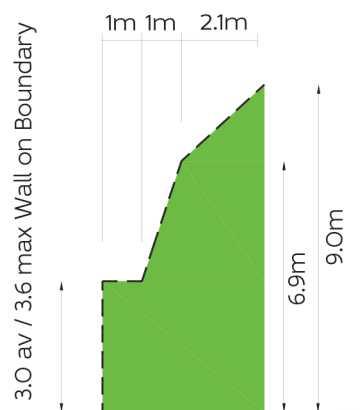
To provide open and accessible space between buildings and minimise impacts and loss of amenity to neighbouring dwellings.

REQUIREMENTS

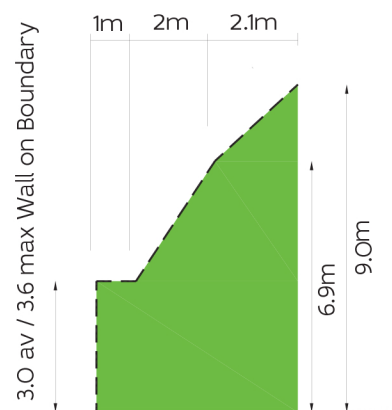
- R1** All house walls over 3.6 metres in height should be set back from a side or rear boundary by 1.0 metre, plus an additional 0.3 metres for every metre of additional height above 3.6 metres to a maximum of 6.9 metres, plus 1.0 metre for every metre of height over 6.9 metres to a maximum of 9.0 metres.
- R2** All house walls over 3.6 metres in height on a south boundary within 6.0 metres of the rear boundary should be set back by 1.0 metre, plus an additional 0.6 metres for every metre of additional height above 3.6 metres to a maximum of 6.9 metres, plus 1.0 metre for every metre of height over 6.9 metres to a maximum of 9.0 metres.

EXCEPTIONS

- E1** An overhanging eave or chimney may intrude into the setback to a maximum of 0.5 metres. This dimension should be measured horizontally from the eave to the intersection of the dashed outline and roof top.
- E2** For 10 metre wide Lots the South boundary setback requirements do not apply.



Typical side or rear boundary (R1)



South boundary (R2)



4.2

Walls on Boundary

OBJECTIVE

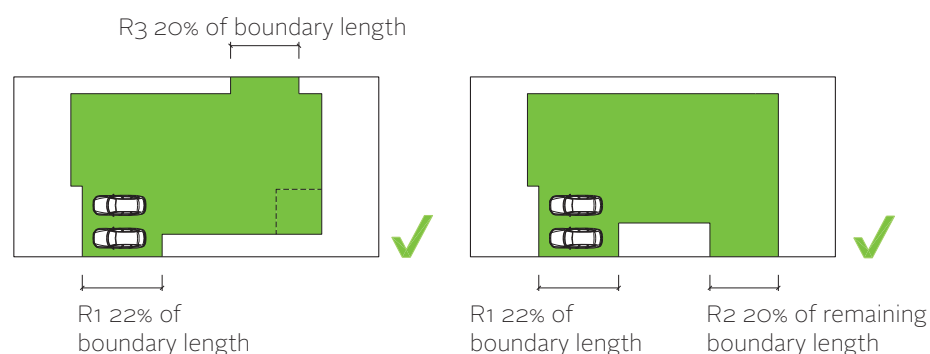
To encourage flexibility in house siting to allow best amenity on the Lot. To ensure that the location and length of a wall on a boundary has minimum impact to neighbouring dwellings.

REQUIREMENTS

- R1** On a conventional Lot, a wall may abut a side boundary for no greater than 22% of the boundary length.
- R2** A second wall on the same boundary may abut the boundary for 20% of the remaining length of the boundary if separated by an open space of at least 4.0 metres on boundary and a width of 2.0 metres.
- R3** A second wall on an opposite side boundary may abut that boundary for a continuous distance of no more than 20% of the boundary length. The second wall must not be opposite or overlapping.
- R4** Walls must be set back from the rear boundary a minimum of 3.0 metres.
- R5** A maximum of two walls per Lot on any side boundary is permissible.
- R6** The height of a wall constructed on a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres.
- R7** Any wall on boundary (including area above a paling fence) must have a first class finish on the neighbour's face to match the remainder of the house. This should be noted on elevation.

EXCEPTIONS

- E1** For 10 metre wide Lots, the provisions of ResCode apply for walls on boundary on both sides.



4.3

Visual Privacy

OBJECTIVE

To limit views into existing secluded Private Open Space and Habitable Room windows of neighbouring dwellings.

REQUIREMENTS

- R1** Outlook from windows, stairs, terraces and decks should be obscured or screened where a direct view is available into a Habitable Room window or Secluded Private Open Space of an approved or constructed neighbouring house.
- R2** Where the adjoining Lot is unbuilt, designs must minimise the potential amenity impacts to future neighbours through the considered positioning and screening of habitable windows that overlook the rear of adjacent Lots.
- R3** The SDAP will only approve designs that demonstrate an ability to protect the amenity of future neighbours.
- R4** Designs are to comply with all relevant statutory regulations and designers must take note of the requirements of ResCode in respect to these provisions.
- R5** Screening in the form of attached elements such as louvres or battens as apposed to opaque glazing is preferred. If louvres or battens are used they must be no more than 25% transparent.

4.4

Acoustic Privacy

OBJECTIVE

To protect residents from external noise and minimise noise intrusion.

REQUIREMENTS

- R1** Noise levels produced by residents must comply with Environment Protection (Residential Noise) Regulations 1997. **Refer to the relevant Stage Specific Requirements. Some Lots in the sub-divisions require thicker glass to reduce internal noise.**

4.5

Overshadowing

OBJECTIVE

Designs are to comply with all relevant statutory regulations and designers must take note of the requirements of ResCode in respect to these provisions.



5.0 APPENDICES

5.1

Preferred Plant Species

OBJECTIVE

Residents are encouraged to plant trees in their gardens. The following is a suggested list of trees suitable for a variety of suburban backyards. Residents will need to select trees carefully for their particular conditions.

Many of the listed species have been recommended by Fleming's Nursery and more information, including mature size and water requirements, can be found at their website: www.flemings.com.au

Acer palmatum	Japanese Maple
Betula 'Penci-2' - Royal Frost	Birch
Betula utilis var. jacquemontii	Whitebarked Himalayan Birch
Cercis canadensis 'Forest Pansy'	Purple-leafed Eastern Redbud
Citrus limon	Lemon
Eucalyptus leucoxylon 'Eukie Dwarf'	Dwarf Yellow Gum
Eucalyptus mannifera 'Little Spotty'	Dwarf Red Spotted Gum
Gleditsia triacanthos var. inermis	Thornless Honey Locust
'Elegantissima'	Golden Rain Tree
Koelreuteria paniculata	Crepe Myrtle
Lagerstroemia indica x L. fauriei	Southern Magnolia
Magnolia grandiflora 'MGTIG' Greenback	Crabapple
Malus ioensis 'Plena'	Olive
Olea europea	Persian Ironwood
Parrotia persica	Ornamental Pears (many varieties available)
Pyrus species	

5.2

Construction Management

OBJECTIVE

During construction, building material stockpiles, equipment and bins must be fully contained within the boundary of the Lot. These items must not be placed on roads, kerbs, nature strips or foot paths at any time.

You are required to provide protection works to Somerfield assets as necessary during construction of your home. These may include roads, footpaths, signage, nature strips, developer fences, trees and landscape treatments.



5.3

Checklist

Item	Reference	Guideline / Requirement	Conformance?
Documents required (ensure all documents are dated)			
1	1.6 R1	Site plan	
2	1.6 R2	Floor + Roof plans	
3	1.6 R3	Elevations	
4	1.6 R4	Material Sample Sheet (clearly cross-referenced to Elevations)	
Site Plan + Floor Plan checks			
5	2.4 R1 & MCP Diagram	Front setback conforms	
6	MCP Diagram	Rear setback conforms	
7	Engineering Layout Plans	Driveway matches crossover	
8	3.1 R1	Site coverage max 60%	
9	3.3 R1	Minimum Private Open Space (POS)	
10	3.3 R2	Minimum Secluded POS	
11	3.2 R1 & R2	Minimum house size	
12	2.4 R1	Garage setback min 6.0m	
13	2.7 R2	Driveway width at front boundary (ie on property side) max 4.0m	
14	2.7 R3	Driveway side setback min 0.5m	
15	4.2 R1	Length of wall on boundary max 22%	
16	2.7 Driveway Materials R1	Conforming driveway design	
17	2.9 R1	Side + rear fence: alignment shown (with end locations clearly marked)	
18	2.9 R2	Side + rear fence: technique correctly noted ie "1.8m high paling fence with timber cap and timber posts exposed to both sides of the fence"	
19	2.9 R3	Fence return/gate: show location abutting house wall (if return intended)	
20	2.9 R3	Fence return/gate: technique noted eg "Galvanized steel frame with horizontal timber slats" (if return intended)	
Elevation checks			
21	2.11 R2	600mm eave extension on street facades with pitched roofs, except for parapet wall used (<i>note: the 600mm extension can include eave + gutter + fascia</i>)	
22	2.11 R2	Eave return along ground floor side(s) with pitched roofs for min 3m (measured from front wall)	
23	2.1 R1	Contemporary design	
24	2.2 R2	Main façade articulation	
25	2.10 R3	Limit of a single material to front façade of max 70%	
26	2.11 R1	Roof pitch max 22.5	



Item	Reference	Guideline / Requirement	Conformance?
27	2.11 R5	Minimized visibility of roof mounted equipment from street	
28	4.2 R6	Height of wall on boundary (avg 3.0m; max 3.6m). Must be measured from Natural Ground Level (NGL)	
29	4.2 R7	Wall on boundary (including area above a paling fence) has a first class finish on the neighbour's face to match the remainder of the house.	
30	4.1 R1 & R2	Conformance with Building Height Setbacks	
Material Sample Sheet check for Garage Door + Roof Tile			
31	2.6 Door Style R1	Garage door style (sectional or tilt only)	
32	2.6 Door Style R2	Garage door material profile (refer images on DAP sample sheet for conforming examples)	
33	2.11 R3	Roof tile (refer images on DAP sample sheet for conforming examples)	
Material Sample Sheet check for Material + Colour (Tonal, muted or natural. Primary or heritage colours not acceptable.)			
34	2.1 Philosophy & Objective	Façade (eg render, brick, cement sheet, etc)	
35	2.1 Philosophy & Objective	Front door	
36	2.6 Door Style R3	Garage door	
37	2.11 R4	Roof	
38	2.1 Philosophy & Objective	Other (eg gutters, flashings, frames, etc)	
Additional requirements for Double Storey Houses			
39	2.11 R2	600mm eaves on all upper level facades with pitched roofs	
40	4.3 R1-R5	Treatment to windows overlooking adjacent lots	
41	4.4 R2 (Lin)	Greens Rd upper level windows (side and rear) require 6.38mm laminated glass	
Additional requirements for Corner Lot Houses			
42	2.4 Corner Lots R1	Side setback conforms	
43	2.11 R2	If pitched roofs on ground level, eaves are required along secondary frontage + min 3m return along rear façade	
44	2.3 R1	Treatment to secondary frontage façade (eg modulation, pergolas, multiple materials)	
45	2.8 R2 and Fence by Developer	Show dimension from front setback to start of side fence, must be at least 8m. (If this lot has a designated "Fence by Developer", show the 0.5m rebate on plan.)	
46	-	If this lot has a Fence by Developer, note on plan that the Finish Surface Level behind the fence matches the adjacent Natural Ground Level or footpath.	
Additional Stage Specific requirements			
48	Stage Specific Requirements	As required	

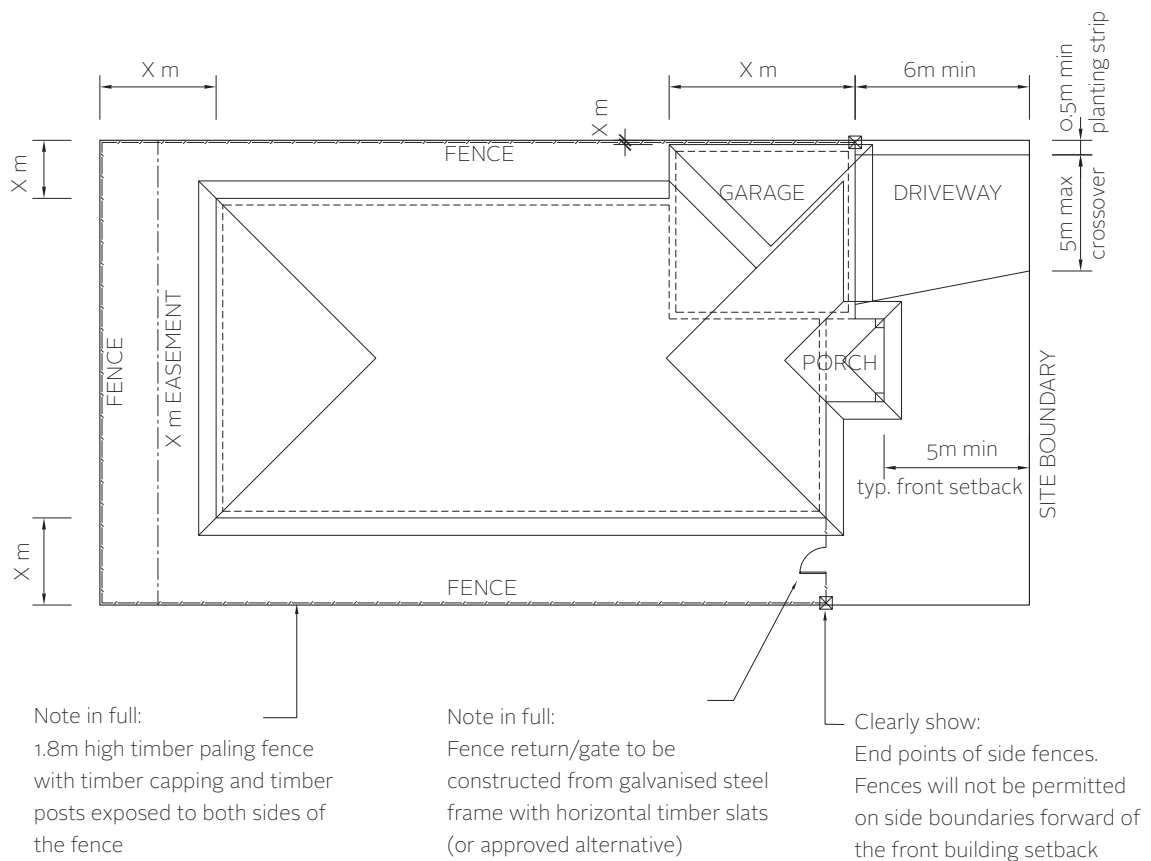


Example Site Plan

DRAWING REQUIREMENTS

Minimum level of detail required:

- R1** Front, rear, side and garage setbacks dimensioned.
- R2** Easements to be correctly located and dimensioned.
- R3** Dimensions required for width of driveway at crossover (ie. on property side) and landscape strip.
- R4** Fences and return/gate to be clearly located (including end points) and described.

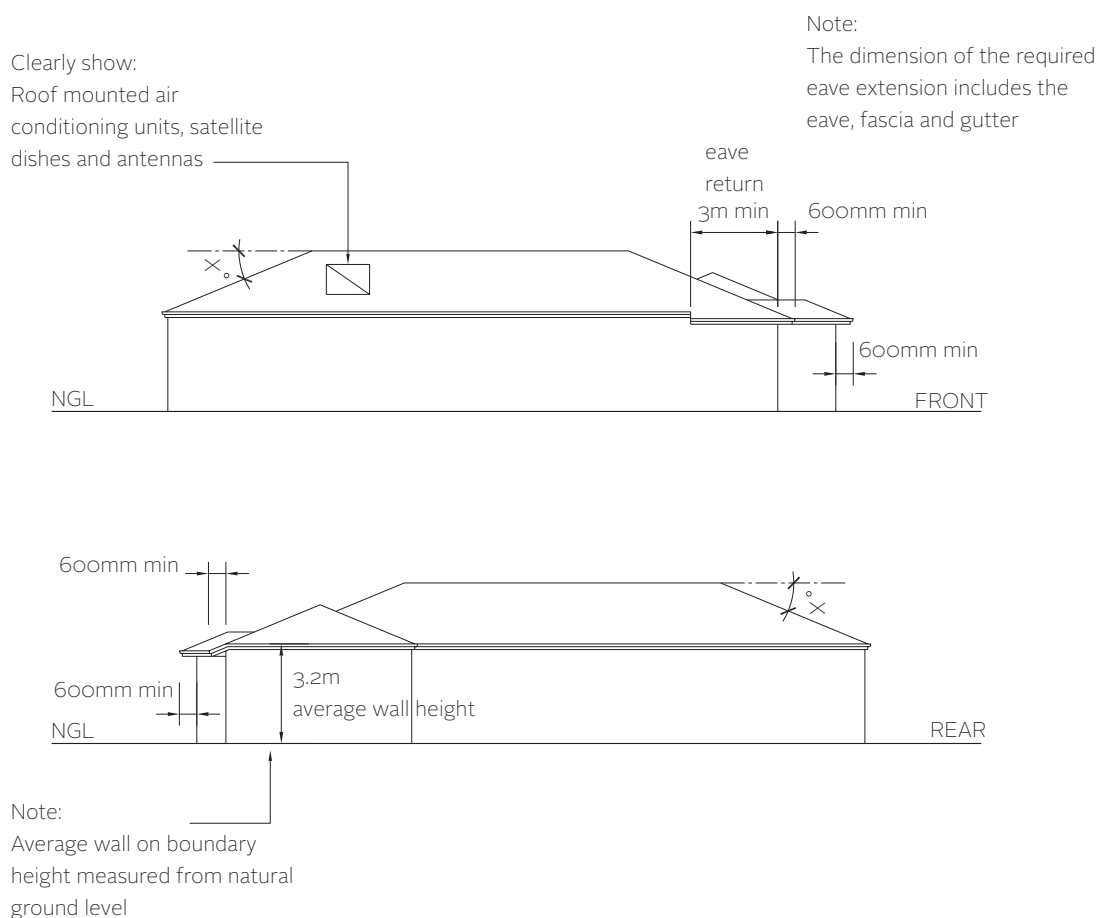


5.5

Example Elevations

DRAWING REQUIREMENTS

- R1** Eaves overhang to pitched roofs dimensioned. (The required 600mm extension can include fascia, gutter and eave).
- R2** Return of extended eaves along the side elevations dimensioned (where applicable).
- R3** Roof pitch dimensioned.
- R4** Roof mounted equipment clearly shown (should not be visible from the street).
- R5** Wall height on boundary dimensioned (measured from natural ground level).



5.6

Sample Garage Door Profiles

CONFORMING EXAMPLES:



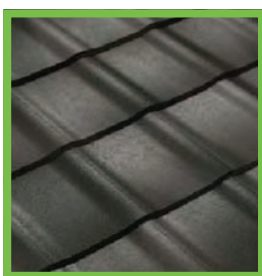
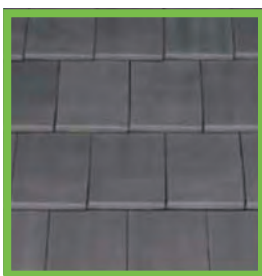
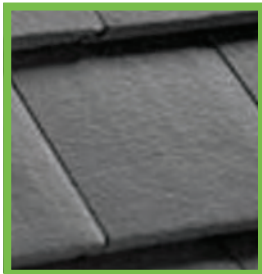
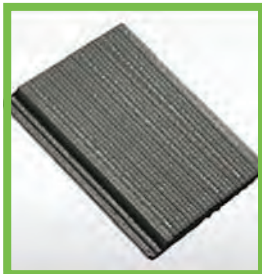
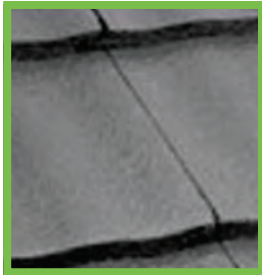
NON CONFORMING EXAMPLES:



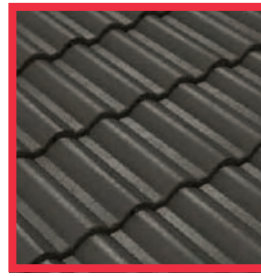
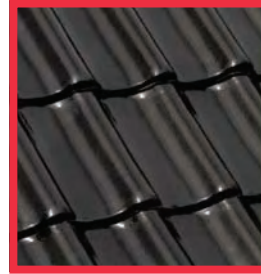
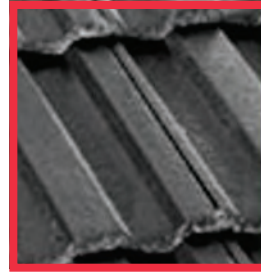
5.7

Sample Roof Tile Profiles

CONFORMING EXAMPLES:



NON CONFORMING EXAMPLES:



5.8

Somerfield Driveways

GAINING DRIVEWAY APPROVAL

The Somerfield Design Assessment Panel (DAP) requires each Lot to submit a driveway design for approval prior to construction of the driveway. Driveways may not be constructed until the DAP has stamped your plans.

If a driveway design has not been included in the house design drawing package which is submitted to the DAP for approval, then the owner or builder may submit the driveway design separately.

The DAP is happy to approve a house design first, and later receive and approve a driveway design. This allows the builder to proceed with house construction without waiting for the driveway to be approved.

INSPECTIONS

The DAP conducts inspections and if a non-complying driveway is found, the owner will be asked to replace their driveway at their own cost.

SUBMITTING A COMPLIANT DESIGN

The requirement for Somerfield driveways can be found in Section 2.7 Driveways + Paths of the Design Guidelines and states:

“Plain finished concrete can be used if a second finish of different colour or surface comprises at least 20% of the driveway area. Exposed aggregate finishes can comprise the whole of the driveway area and do not require a second finish. Driveways do not need to include permeable sections.”

Designs can be submitted to the DAP by email. We will respond with either an approved (stamped) plan, or comments on how to achieve a conforming design, within 14 days of receipt.



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INTRAPAC
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